



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

APPLICATION FOR ARCHITECTURAL REVIEW BOARD

APPLICATION DATE 9/28/2023 DATE OF ARB MEETING 10/11/2023 ESTIMATED COST \$350,000

PROJECT ADDRESS 242 Edwin Ave GLENDALE, MO 63122

NAME OF PROPERTY OWNER Andrew Wendell PHONE NUMBER 314-409-8989

CONTRACTOR (NAME) Compass Design Build PHONE NUMBER 636-236-2536

CONTRACTOR ADDRESS 2464 Taylor Rd - #319, Wildwood, MO 63040

ARCHITECT (NAME) Paul Dean Hunsicker PHONE NUMBER 636-343-6527

ARCHITECT ADDRESS 1016 Clark Dr, Fenton, MO 63026

DETAILED DESCRIPTION OF WORK BEING PROPOSED: Two story addition at rear of home with full unfinished basement below. - REVISED SITE PER PREVIOUS ARB MEETING

FLOOR AREA RATIO 34.3% (FAR = Floor area divided by total area of lot. Floor area includes all areas provided with heat and/or air conditioning. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch).

TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 1,302

TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) 1,271

TOTAL SQ. FT. OF LOT 7,500 WIDTH AND DEPTH OF LOT (FT.) 50 x 150

HEIGHT OF STRUCTURE 29' NUMBER OF STORIES 2

ESTIMATED COMMENCE DATE 12/1/2023 EST. COMPLETION DATE 4/1/2024

Each application shall be accompanied with payment of a fee as follows:

Addition or Accessory Structure: \$150.00

New Home: \$200.00

Applications must also include 10 copies of the following items collated into individual packets. Packets not collated may be accepted for scheduling purposes, but will be returned to applicants for collation and are due no later than 12:00 p.m. one week prior to the scheduled ARB meeting. (Please check each item included):

PROPOSED NEW REAR ADDITION AT:
242 EDWIN AVE
 GLENDALE, MISSOURI



CITY OF GLENDALE
 ARCHITECTURAL REVIEW BOARD



LOCATION MAP
 NOT TO SCALE

FLOOR AREA RATIO	
TOTAL FLOOR AREA EXISTING -	1,271 SQ FT
TOTAL FLOOR AREA PROPOSED -	1,302 SQ FT
TOTAL NEW FLOOR AREA -	2,573 SQ FT
TOTAL LOT SQUARE FOOTAGE -	7,500 SQ FT
FAR =	34.3%

ARCHITECT: PAUL DEAN HUNSICKER
 CIVIL ENGINEER: CIVIL DESIGN, INC
 BUILDER: COMPASS DESIGN BUILD

TABLE OF CONTENTS	
1.	COVER PAGE
2.	FLOOR PLANS
3.	EXTERIOR ELEVATIONS
4.	COLOR RENDERING W/ MATERIALS
5.	SITE PLAN
6.	LANDSCAPE PLAN
7.	SUBJECT PROPERTY PHOTOS
8.	NEIGHBOR PROPERTY PHOTOS

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT DESCRIPTION:
Wendell Residence
 242 Edwin Ave
 Glendale, MO 63122

COMPASS
 DESIGN | BUILD L.L.C.
 636-728-9477 pete@compass-sll.com

DATE:
 9/1/2023

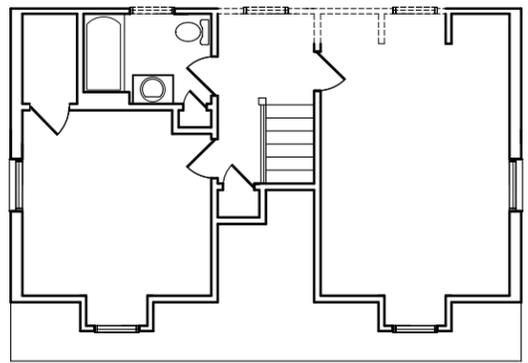
SCALE:

SHEET:

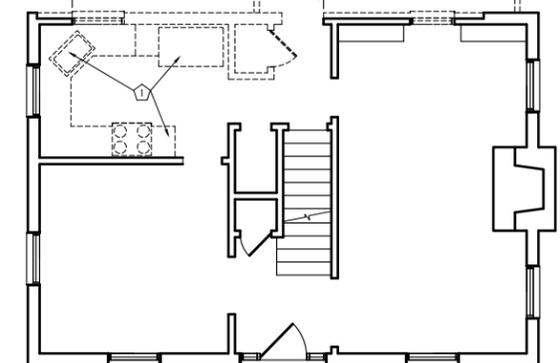
- KEYED NOTES:**
- REMOVE APPLIANCES AND CABINETS AND RELOCATE CABINETS TO NEW PANTRY - VERIFY SALVAGED ITEMS W/ OWNER.
 - UNDER COUNTER MICROWAVE DRAWER.
 - ISLAND W/ FLUSH SERVING BAR - BACK TO BACK BASE CABINET BELOW.
 - WALL OVEN W/ MICROWAVE - VERIFY CONFIG. W/ OWNER.
 - GAS RANGE / OVEN W/ DIRECT VENT HOOD TO EXTERIOR.
 - EXISTING WINDOW TO REMAIN.
 - SINK W/ GARBAGE DISPOSAL AT ORIGINAL LOCATION.
 - EXISTING STAIR TO REMAIN - NO CHANGE.
 - WALL CABINETS ABOVE.
 - SPACE SAVER - 2" DIAM. STANDPIPE, HOT / COLD HOSE BIB - VENT DRYER DIRECTLY TO EXTERIOR - PROPER INSTALL W/ MAX. FREEZE PREVENTION AT EXTERIOR WALL AND MAINTAIN R13 MIN R- VALUE.
 - REMOVE BEARING WALL TO EXTENT OF NEW MATCHING OPENING AND HEADER.
 - 6'-0" x 3'-6" SHOWER PAN W/ TEMP. GL. ENCLOSURE.
 - INSTALL DRYWALL SOFFIT AROUND NEW TRUNKLINE TO NEW ZONED FURNACE.
 - EXISTING ROOF TO REMAIN.
 - CANTILEVERED FIREPLACE ABOVE - INSTALL R19 MIN. INSUL. - TYPICAL.
 - EXISTING FLOORING TO REMAIN - CONTINUE HARDWOOD INTO NEW FINISHED SPACE.
 - REMOVE WALL AT NEW MATCHING DRYWALL OPENING.
 - REMOVE ENTIRE DECK.
 - NEW 3" CONC. SLAB - SLOPE AWAY FROM HOUSE - PATIO SLAB TO BE 1" BELOW TOP OF FOUNDATION.
 - DRYWALL WRAPPED 6TL. BM.
 - BEAM POCKET - SET. BM. ON SHIM AND GROUT SOLID.
 - 8" THICK CONC. FOUNDATION W/ 2# 4 REBAR TOP AND BOTTOM - HT. TO MATCH EXISTING FOUNDATION - ON 24" x 8" CONC. FOOTING W/ 2# 4 REBAR 2'-6" MIN. BELOW FINISH GRADE W/ 2# 4 REBAR.
 - 1" RISER FROM FINISH SLAB TO NEW CONC. PATIO.
 - MATCHING OPENING.
 - 2" x 4 STUDS AT 16" O.C. ON TREATED GILL PLATE - TYPICAL - SEE DETAIL 2 SHEET 4.
 - VOID.
 - BELOW COUNTER REFRIGERATOR.
 - SINK W/ MICROWAVE ABOVE.
 - HIGH EFFICIENCY ZONED GAS FURNACE.
 - 2'-8" x 5'-0" SHOWER PAN W/ TEMP. GL. ENCLOSURE.

- 6 x 6 TREATED POST W/ COMPOSITE WRAP - TYPICAL.
- LINE OF VAULT CEILING.
- SLOPED CEILING AT EYEBROW DORMER ABOVE - SEE LEFT ELEVATION SHEET 2.
- MAXIMIZE OPENING WIDTH AT EXISTING CONC. FOUNDATION OPENING.
- 3'-6" HIGH x 8" THICK CONC. FOUNDATION W/ 2# 4 REBAR TOP AND BOTTOM ON 24" x 8" CONC. FOOTING W/ 2# 4 REBAR.
- NOTCH FOUNDATION TO ALLOW SLAB TO CONTINUE UNDER DOOR THRESHOLD.
- HATCHED ARE INDICATES EXTENT OF OVERFRAMING AT RAISED FLOOR OVER EXISTING FLOOR.
- EXISTING CONC. FOUNDATION TO REMAIN - NO CHANGE.
- CANTILEVERED FLOOR ABOVE AT PRIMARY BATH - FRAME DOWN TO ALLOW FOR INSULATION BELOW PLUMBING - SEE DETAIL 1 SHEET 4.
- NEW MATCHING OPENING.
- FRAME IN PREVIOUS WINDOW OPENING.
- 3/8" WIDE PREFAB GAS FIREPLACE W/ THIN CUT NATURAL STONE VENEER AT FIREPLACE FACADE AND HEARTH - INSTALL FIREPLACE W/ MANUF. SPECS. - SEE DETAIL 4 SHEET 4.
- WATERLINE AT ICEMAKER AT REFRIGERATOR.
- BASE CABINETS W/ GLASS FRONT WALL CABINETS ABOVE.
- BEVERAGE REFRIGERATOR.
- REPURPOSED CABINETS FROM PREVIOUS KITCHEN - VERIFY CONFIGURATION W/ OWNER.
- NEW OPEN PANTRY SHELVING.
- WIDENED MATCHING OPENING AT BEARING WALL.
- CANTILEVERED FLOOR ABOVE - INSTALL R19 MIN. BATT INSULATION AND COVER W/ EXTERIOR GRADE SHEATHING - TYPICAL.
- LINE OF FINISHED BOX BM. ABOVE TO MATCH WIDTH OF FINISHED POST - TYPICAL.
- PEDESTAL TUB.
- 3'-0" HIGH COMPOSITE GRASPABLE RAILING W/ BALLUSTERS AT 4" MAX. CLEAR BETWEEN BY TAAMKO 'MARQUEE' OR EQUAL CODE COMPLIANCE CCRR-0134 - VERIFY MANUF. W/ OWNER.
- VANTY W/ DOUBLE DRAWER BASE.
- COMPOSITE PLANK DECKING - MANUF. TAAMKO 'EVERGREEN' OR EQUAL 100 LBS PER S.F. LIVE LOAD RATING OR EQUAL - VERIFY MANUF. W/ OWNER.
- EXISTING TO REMAIN - NO CHANGE.
- 1" MAX. RISER W/ 11" TREAD W/ 1" FINISH NOSING AT RAISED FLOOR HEIGHT.

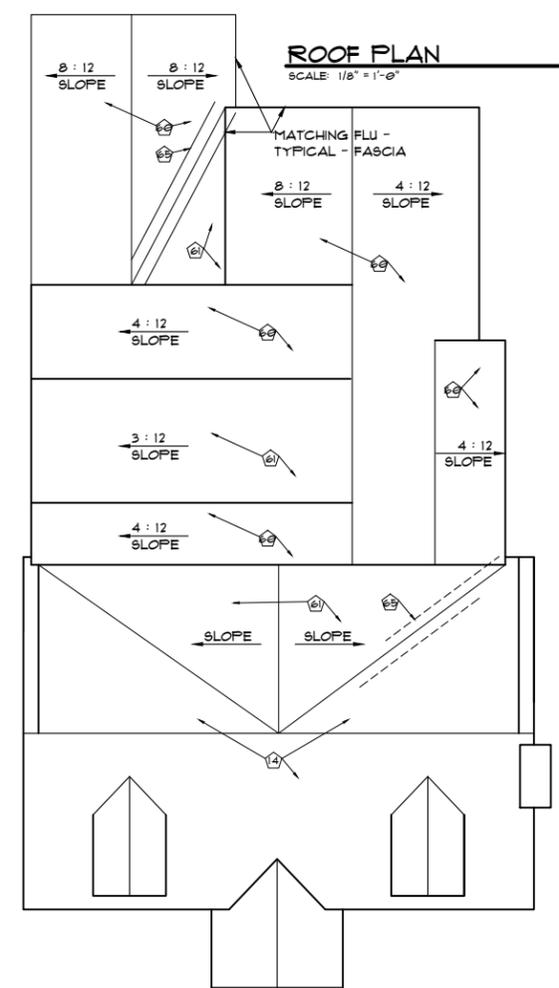
- EXTERIOR WALL AT EXISTING SECOND FLOOR DORMER.
- BUCKOUT FOUNDATION AT DOOR OPENING.
 - INSTALL ROOF CRICKET (2 x 6 RAFTER AT 16" O.C.) TO EXISTING RIDGE HT. - INSTALL NON CORROSIIVE FLASHING AT WALL TERMINATION.
 - SELF ADHERING RUBBER MEMBRANE AT ALL VALLEY FLASHING - TYPICAL.



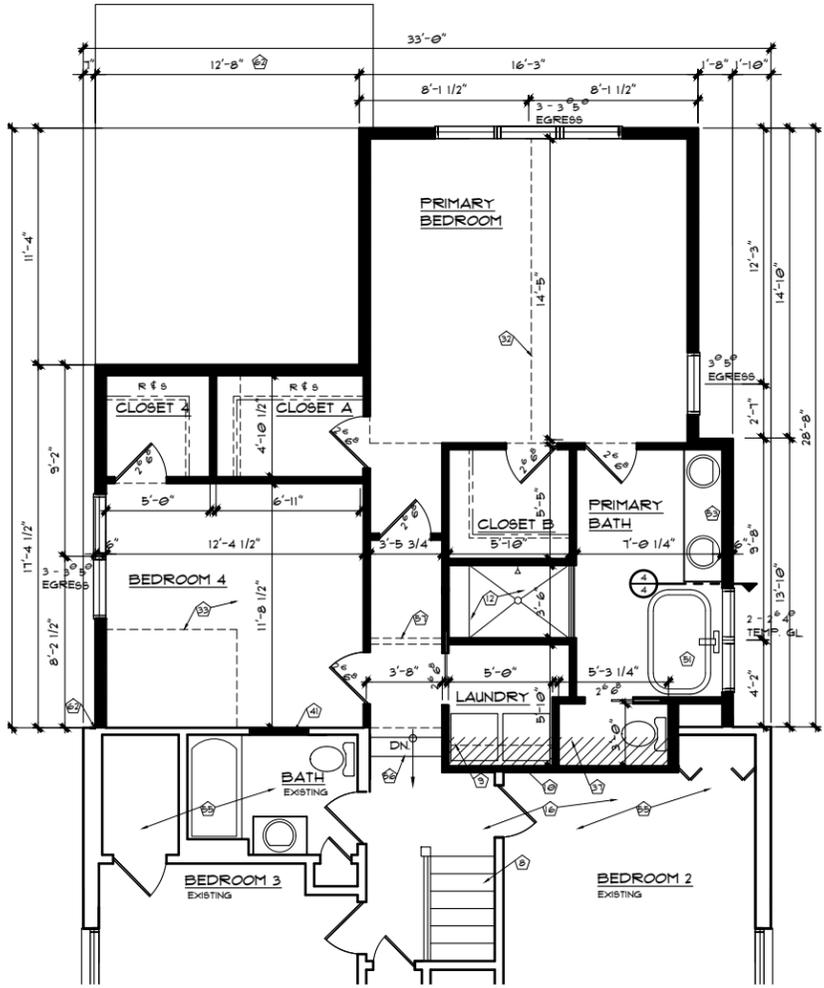
SECOND FLOOR DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



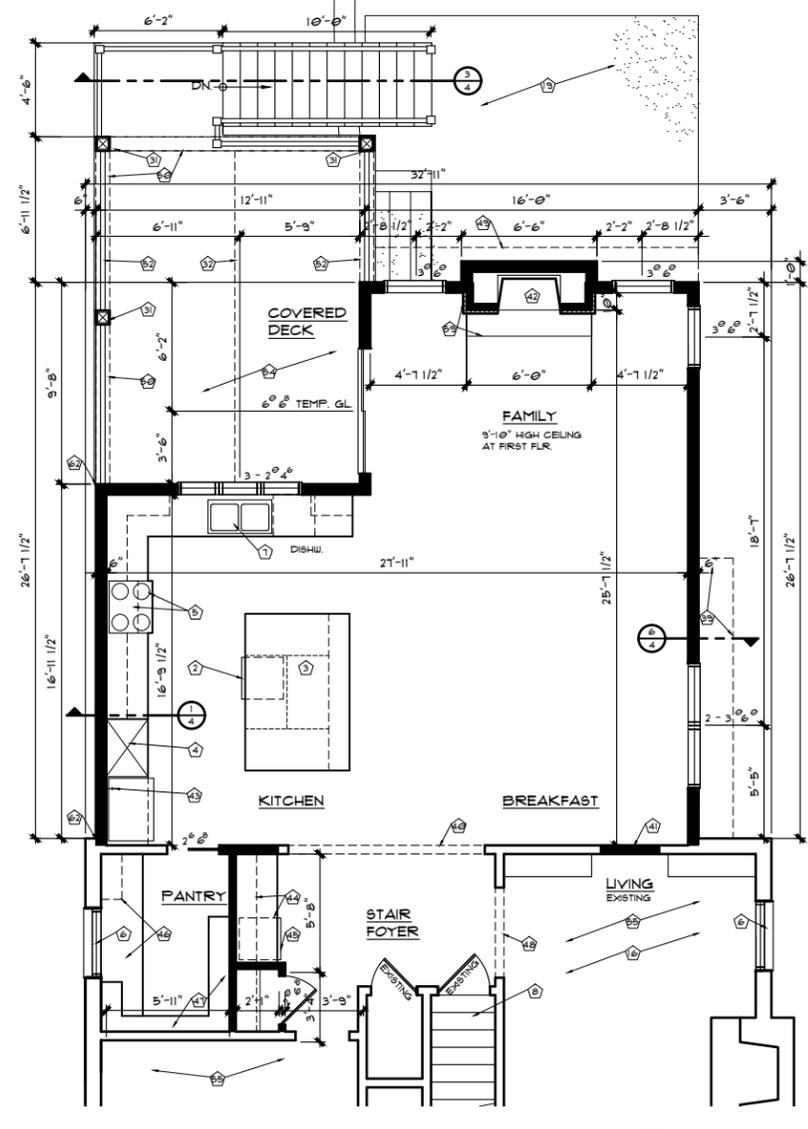
FIRST FLOOR DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



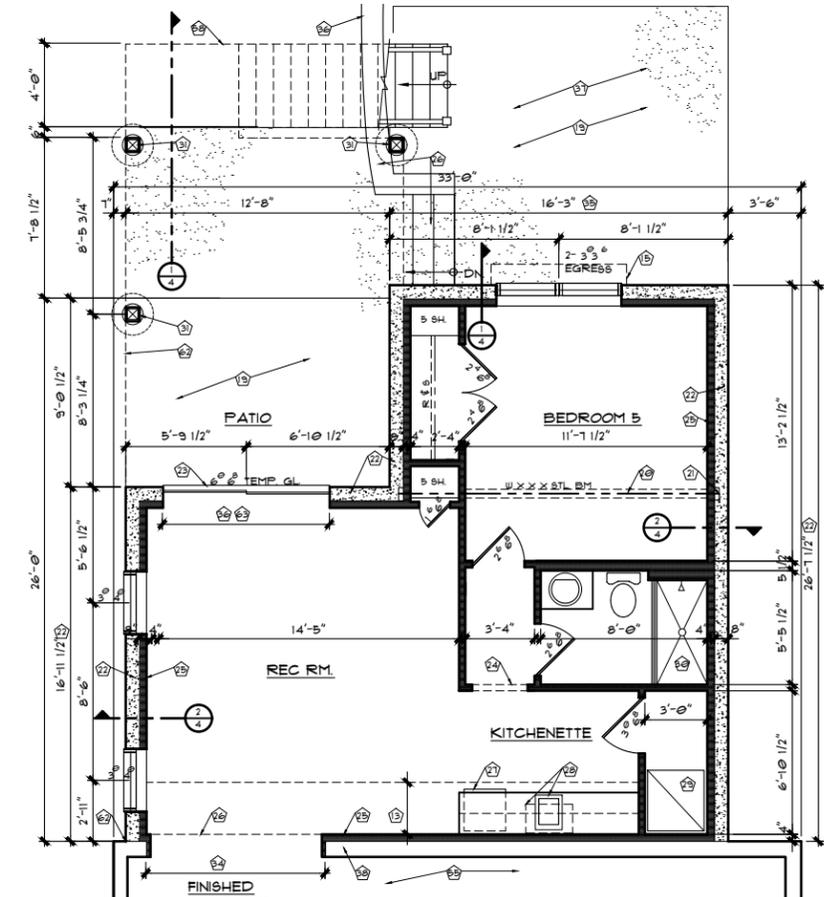
ROOF PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" 680 SF



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" 622 SF



BASEMENT PLAN
SCALE: 1/4" = 1'-0" 590 SF

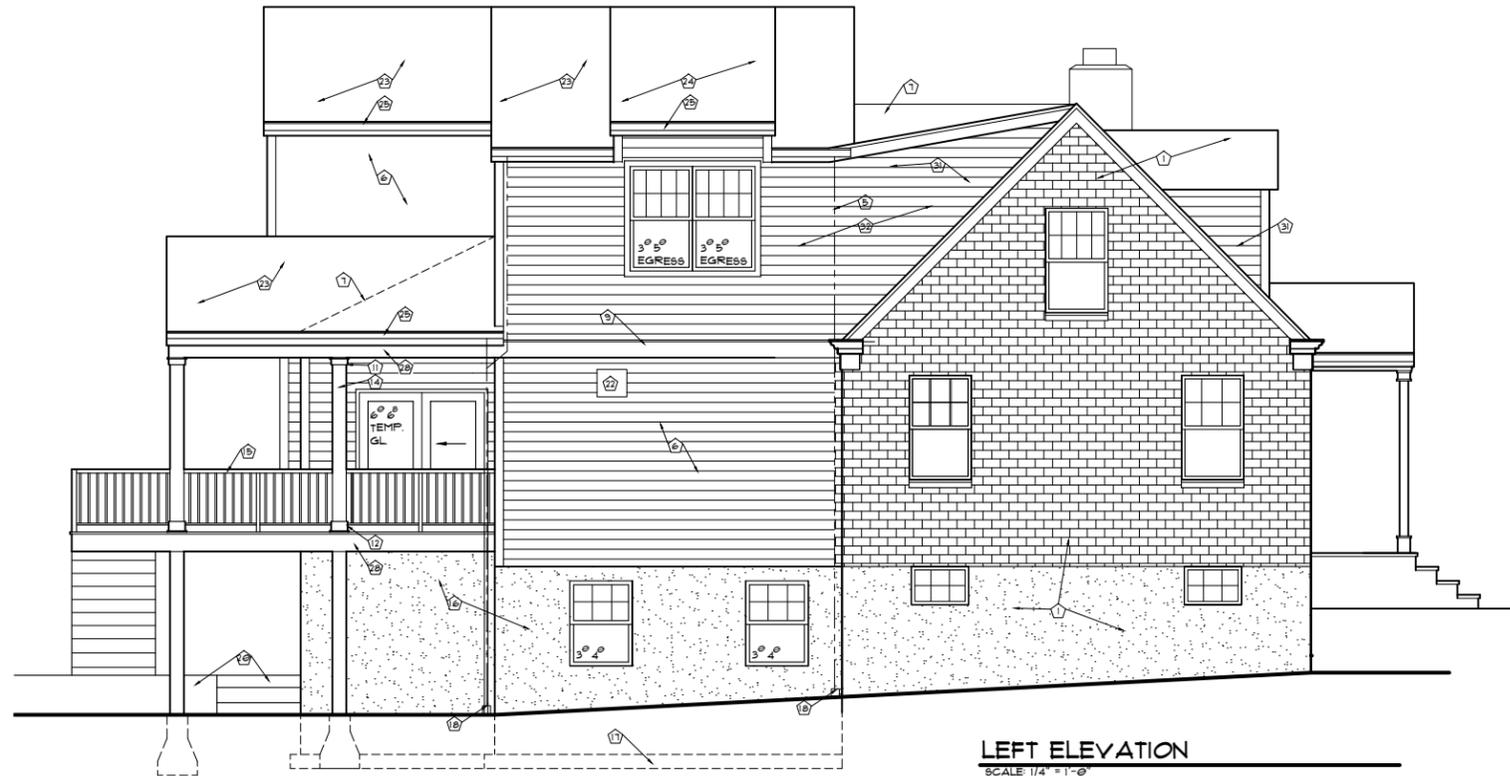
LEGACY DESIGN GROUP
220 West Argonne Avenue suite R
Kirkwood, Missouri 63122
314-486-1846 legacydesigngroup@gmail.com

This drawing and the details on it are the sole property of Legacy Design Group and may be used for this specific project only. It shall not be loaned, copied or reproduced, in whole or in part, or for any other purpose or project without the written consent of Legacy Design Group.
The Professional Architect's seal affixed to this sheet applies only to the materials and items shown on this sheet. All drawings, instruments of other documents not exhibiting this seal shall not be considered prepared by or for this firm, and no responsibility or liability shall be assumed by this firm for such plans, drawings or documents not exhibiting this seal.

Architect of Record:
Paul Dean Hunsicker Architect, Inc.
1018 Clark Drive
Fenton, Mo. 63026
658-343-8827
CERTIFICATE # 2013007016

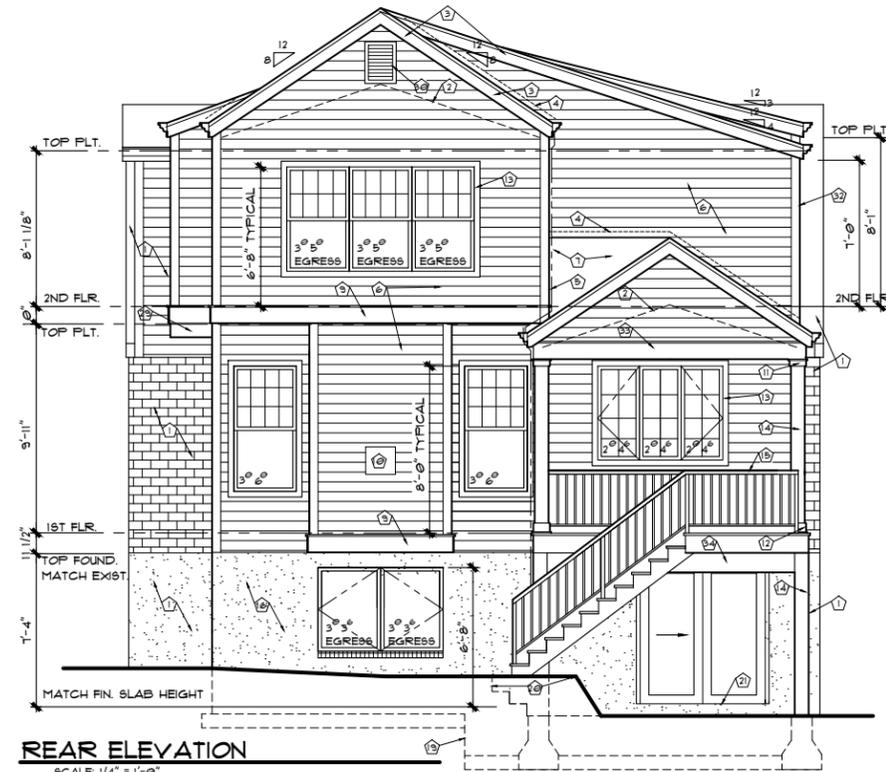
PROPOSED ROOM ADDITION AT:
242 EDWIN AVENUE
GLENDALE, MISSOURI 63122

A1
SHEET 1 OF 2
DATE 09/19/23
REVISION



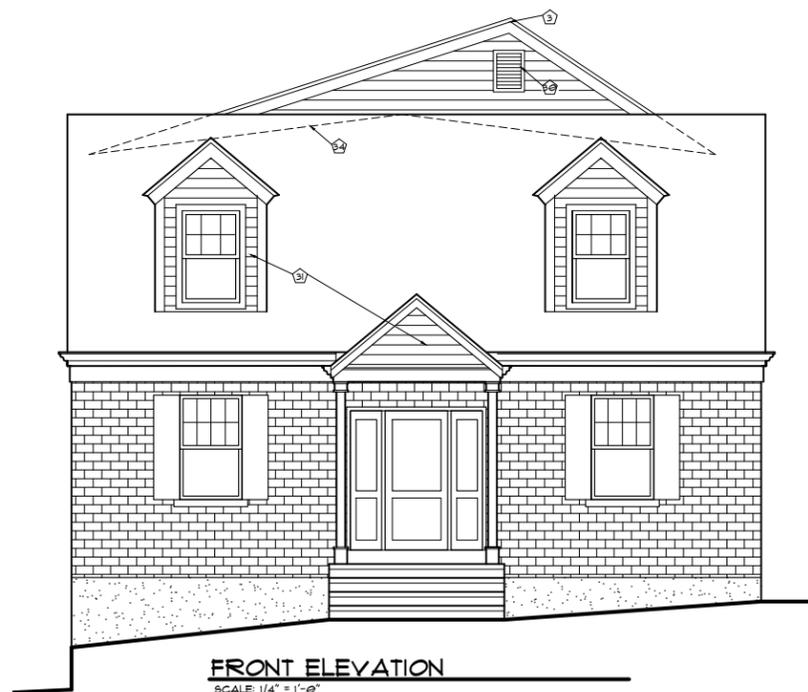
LEFT ELEVATION

SCALE 1/4" = 1'-0"



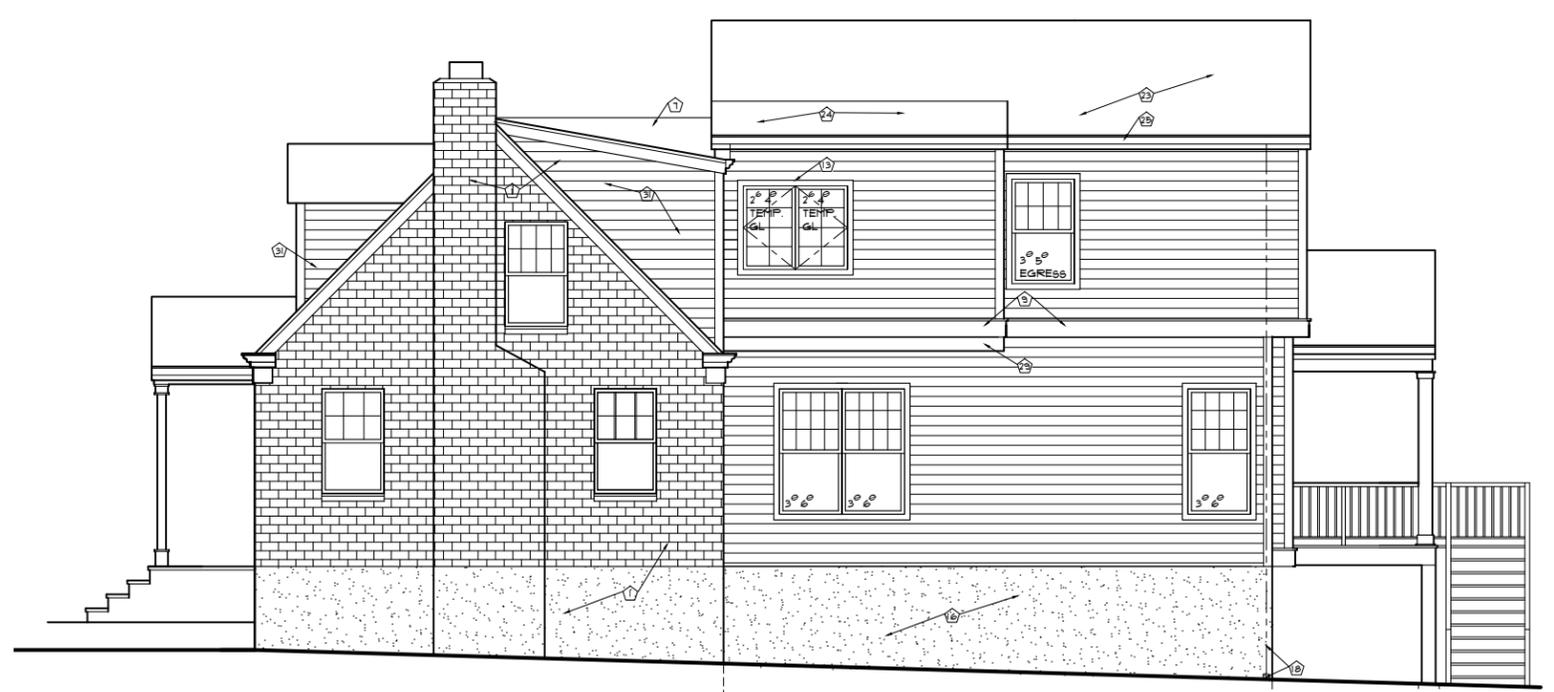
REAR ELEVATION

SCALE 1/4" = 1'-0"



FRONT ELEVATION

SCALE 1/4" = 1'-0"



RIGHT ELEVATION

SCALE 1/4" = 1'-0"

KEYED NOTES

- 1. EXISTING TO REMAIN
- 2. VAULT CEILING BEYOND
- 3. MATCHING 2 X FLUSH FASCIA W/ ALUM. WRAP - TYPICAL
- 4. NON CORROSIVE FLASHING
- 5. DOWNSPOUT TO GUTTER BELOW
- 6. COMPOSITE LAP SIDING - TYPICAL
- 7. ROOF CRICKET - SEE ROOF PLAN SHEET 1.
- 8. VOID
- 9. 5/4 X CAP OVER 1 X 10 COMPOSITE TRIM
- 10. THRU WALL CLASS 'A' VENT - INSTALL PER MANUF. SPEC.
- 11. 5/4 X FEMDENT W/ 1 X 4 TRIM AT POST CAP - TYPICAL
- 12. 5/4 X 6 COMPOSITE BASE TRIM AND 1 X TRIM AT BOTTOM
- 13. 5/4 X 4 COMPOSITE TRIM AT ALL WINDOWS AND DOORS
- 14. 6 X 6 TREATED POST W/ COMPOSITE WRAP - TYPICAL
- 15. 3'-0" HIGH COMPOSITE GRASPABLE RAILING W/ BALLUSTERS AT 4" MAX. CLEAR BETWEEN BY TAAMKO 'MARQUEE' OR EQUAL CODE COMPLIANCE CCRR-0194 - VERIFY MANUF. W/ OWNER
- 16. FULL HEIGHT CONC. FOUNDATION AND EXTERIOR FINISH TO MATCH EXISTING ADJACENT FOUNDATION
- 17. NEW FOOTING / SLAB HEIGHT TO MATCH EXISTING - TYPICAL
- 18. DOWNSPOUT TO UNDERGROUND DRAINAGE
- 19. JOG FOUNDATION TO MAINTAIN 2'-6" MIN. BELOW FINISH GRADE
- 20. 3'-0" HIGH LANDSCAPE RETAINING WALL - LOCATE STEPS TO ALLOW FOR 6'-0" MIN. HEAD CLEARANCE
- 21. PROVIDE 1" RISER AT NEW SLAB TO CONC. PATIO
- 22. THRU WALL VENT AT COOKTOP HOOD
- 23. 35 YEAR FIBERGLASS SHINGLE ROOFING OVER 1 LAYER FELT UNDERLAYMENT
- 24. 35 YEAR FIBERGLASS SHINGLE ROOFING OVER 2 LAYERS FELT UNDERLAYMENT
- 25. MATCHING ALUM. GUTTER AND FLUSH 2 X FASCIA W/ ALUM. WRAP - TYPICAL
- 26. VOID
- 27. VOID
- 28. FINISH COMPOSITE SKIRT BD. AT DECK M- TYPICAL
- 29. FRAME DOWN CANTILEVER JOISTS TO ALLOW FOR PROPER INSULATION AT-T PLUMBING - SEE DETAIL 6 SHEET 4
- 30. 1'-6" X 2'-0" LOUVERED VENT W/ SCREEN
- 31. REMOVE VINYL SIDING AND REPLACE W/ COMPOSITE LAP SIDING OVER HOUSE WRAP - TYPICAL
- 32. ALIGN NEW EXTERIOR WALL (AND FOUNDATION) W/ EXISTING WALL BEYOND
- 33. 1 X 10 COMPOSITE TRIM W/ 1 X CAP AT BOX BM
- 34. NEW ROOF CRICKET BEYOND TO EXISTING RIDGE



LEFT



REAR



LEFT



FRONT

EXISTING
SCALE 1/8" = 1'-0"

LEGACY DESIGN GROUP
220 West Argonne Avenue suite R
Kirkwood, Missouri 63122
314-486-1846 legacydesigngroup@gmail.com

This drawing and the details on it are the sole property of Legacy Design Group and may be used for this specific project only. It shall not be loaned, copied or reproduced in whole or in part, or for any other purpose or project without the written consent of Legacy Design Group.
The Professional Architect's seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments of other documents not embracing this seal shall not be considered prepared by the architect, and no drawings or documents not embracing this seal, or such plans, drawings or documents not embracing this seal.

Architect of Record:
Paul Dean Hargrave Architect, Inc.
1016 Clark Drive
Fenton, Mo. 63026
636-343-6527
CERTIFICATE # 2013007016

PROPOSED ROOM ADDITION AT:
242 EDWIN AVENUE
GLENDALE, MISSOURI 63122

A2
SHEET 2 OF 2
DATE 09/19/23
REVISION

PROPOSED NEW REAR ADDITION AT:
242 EDWIN AVE
 GLENDALE, MISSOURI



REAR ELEVATION

EXTERIOR MATERIALS

SIDING - VINYL
 ROYAL BUILDING PRODUCTS - "WICKER"

SOFFITS / FASCIA / GUTTERS / DOWNSPOUTS
 PREFINISHED ALUM - "WHITE"

WINDOWS - SILVERLINE - "WHITE"

MASONRY - EXISTING RED BRICK - MATCH EXISTING

ROOF - ASPHALT ARCHITECTURAL SHINGLE
 CERTAINTEED LANDMARK - "WEATHERED WOOD"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT DESCRIPTION:
Wendell Residence
 242 Edwin Ave
 Glendale, MO 63122

COMPASS
 DESIGN | BUILD | L.L.C.
 636-728-9477 pete@compass-sll.com

DATE:

9/7/2023

SCALE:

SHEET:

242 EDWIN AVENUE

A TRACT OF LAND IN LOT 15 OF DICKSON PLACE,
PLAT BOOK 17, PAGE 66,
ST. LOUIS COUNTY, MISSOURI

LEGEND:

- ST — ST — ST — STORMS SEWER
- SS — SS — SS — SANITARY SEWER
- W — W — W — WATER LINE
- G — G — G — UNDERGROUND GAS LINE
- UT — UT — UT — UNDERGROUND TELEPHONE/DATA
- X — X — X — FENCE (X' TALL)
- CO CLEANOUT
- ME MATCH EXISTING
- DS DOWNSPOUT

ZONING

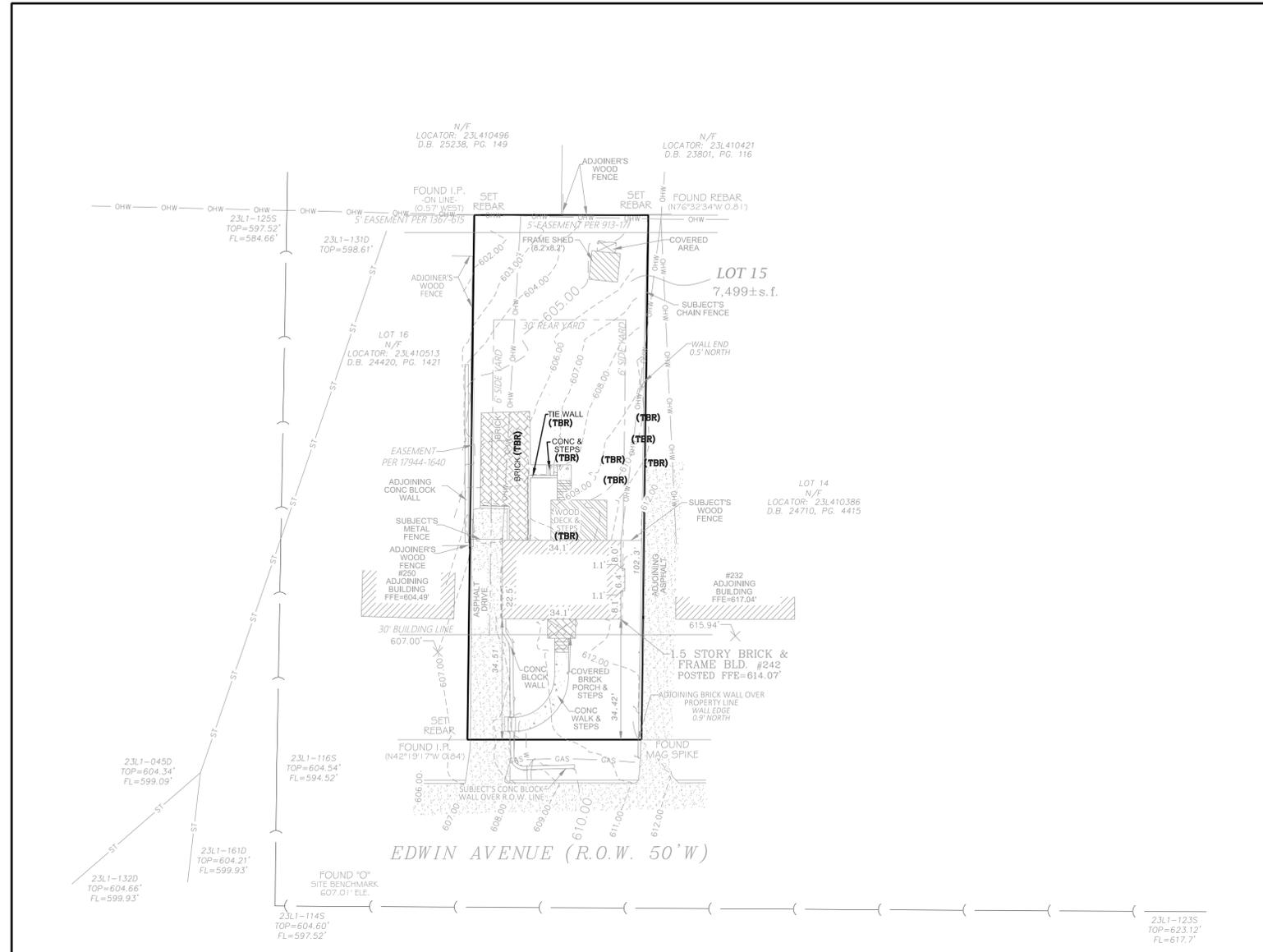
EXISTING/PROPOSED: R-1 SINGLE FAMILY DWELLING

SETBACKS

FRONT: MIN 35' (25' FOR AN UNENCLOSED FRONT PORCH)
SIDE: 6' (10% OF THE WIDTH OF THE LOT, BUT NO LESS THAN 6')
REAR: 30'

LOT SIZE

TOTAL LOT: 7,499 SF
TO BE DISTURBED: 2,500 SF
GRASS: 4,542 SF
PAVEMENT: 1,441 SF
BUILDING: 1,516 SF
GREEN SPACE: 60.57%
MAX. COVERAGE: 45%
PROP. COVERAGE: 39.43%



DIFFERENTIAL RUNOFF CALCULATIONS (15-YEAR, 20-MINUTE STORM):
(CALCULATIONS BELOW ARE FOR DISTURBED AREA ONLY)

EXISTING	AREA(SF)	ACRES	MSD PI	CFS
ROOF	901	0.02	3.54	0.07
PVMT.	1,373	0.03	3.54	0.11
GRAVEL	0	0.00	2.58	0.00
GREEN	5,225	0.12	1.7	0.20
TOTALS	7,499	0.17	N/A	0.39

PROPOSED	AREA (SF)	ACRES	MSD PI	CFS
ROOF	1,516	0.03	3.54	0.12
PVMT.	1,441	0.03	3.54	0.12
GRAVEL	0	0.00	2.58	0.00
GREEN	4,542	0.10	1.7	0.18
TOTALS	7,499	0.17	N/A	0.42

TOTAL CHANGE IN CFS FOR PROPERTY = 0.03 CFS

THE DISTURBED AREA FOR THIS PROPERTY IS 0.06 ACRES



RYAN MEEKS
CIVIL ENGINEER
MO# PE-2011015775

DATE: 09/28/2023

CDI #: R6233

DESIGNED BY: RDM

DRAWN BY: RDM

CHECKED BY: JEF

REV. NO.	DATE	REMARKS

CIVIL ENGINEER:
5270 Oakland Avenue
St. Louis, MO 63110
314.683.5570



CIVIL DESIGN, INC.
WBE DBE
Missouri State Certificate
of Authority #202006804

NEW RESIDENCE AT
242 EDWIN AVE
242 EDWIN AVE.
GLENDALE, MO 63122

DEMO

SHEET TITLE

SHEET NO.
1.0



RYAN MEEKS
CIVIL ENGINEER
MO# PE-2011015775

DATE: 09/28/2023

CDI #: R6233

DESIGNED BY: RDM

DRAWN BY: RDM

CHECKED BY: JEF

REV. NO. DATE

REMARKS

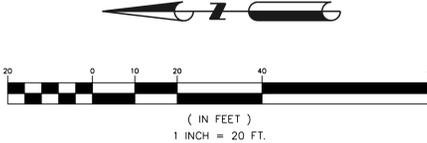
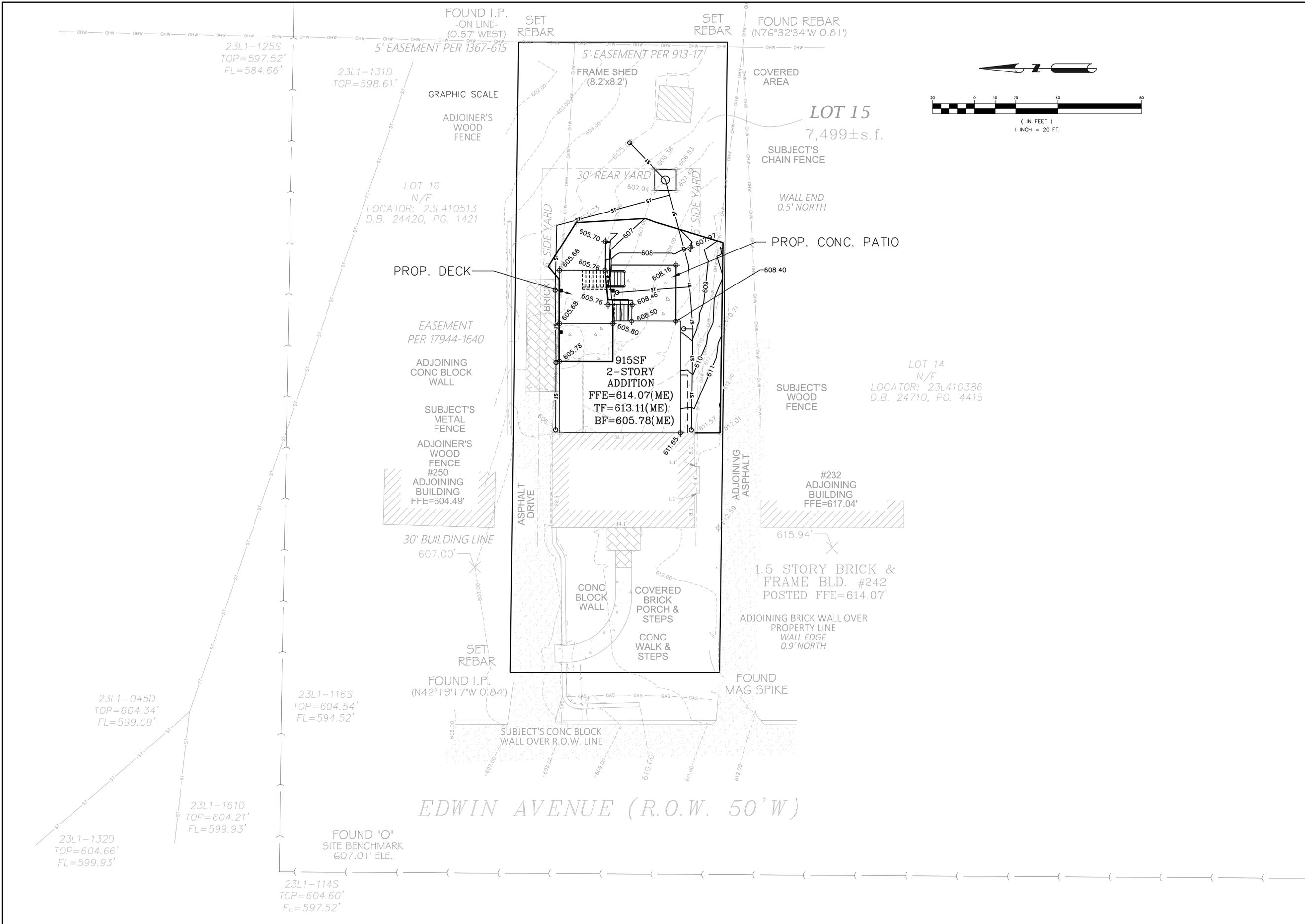
REV. NO. DATE

CIVIL ENGINEER: **CDI** DESIGN, INC.
5270 Oakland Avenue
St. Louis, MO 63110
314.863.5570
WB/E DBE
Missouri State Certificate
of Authority #202006804

NEW RESIDENCE AT
242 EDWIN AVE
242 EDWIN AVE.
GLENDALE, MO 63122

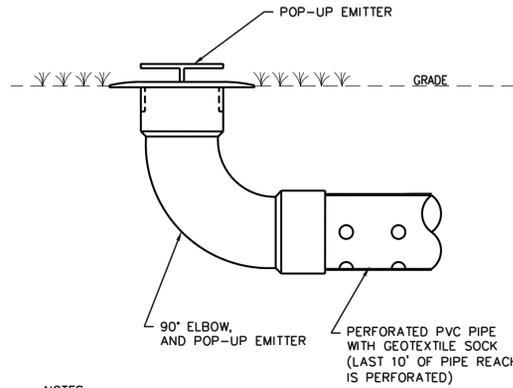
SHEET TITLE
SITE PLAN

SHEET NO.
2.0



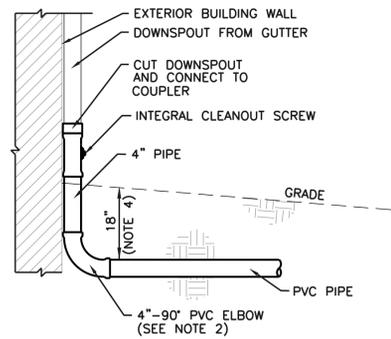
SHEET TITLE

SHEET NO.



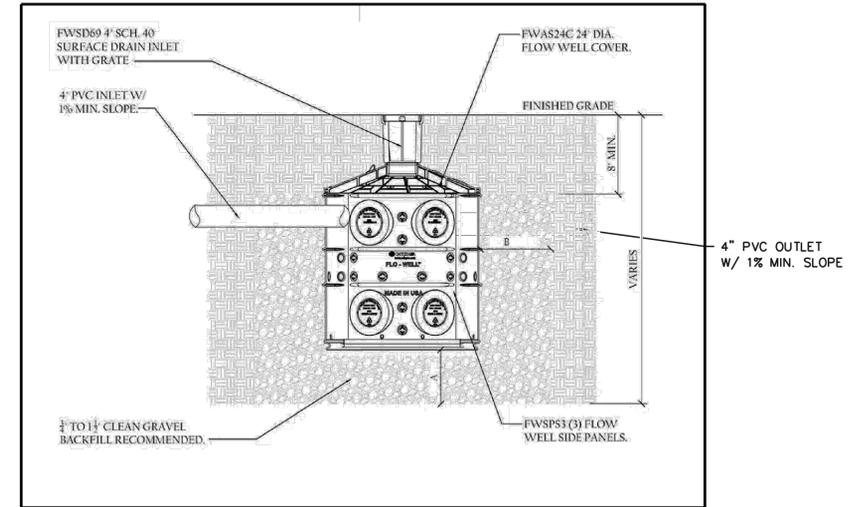
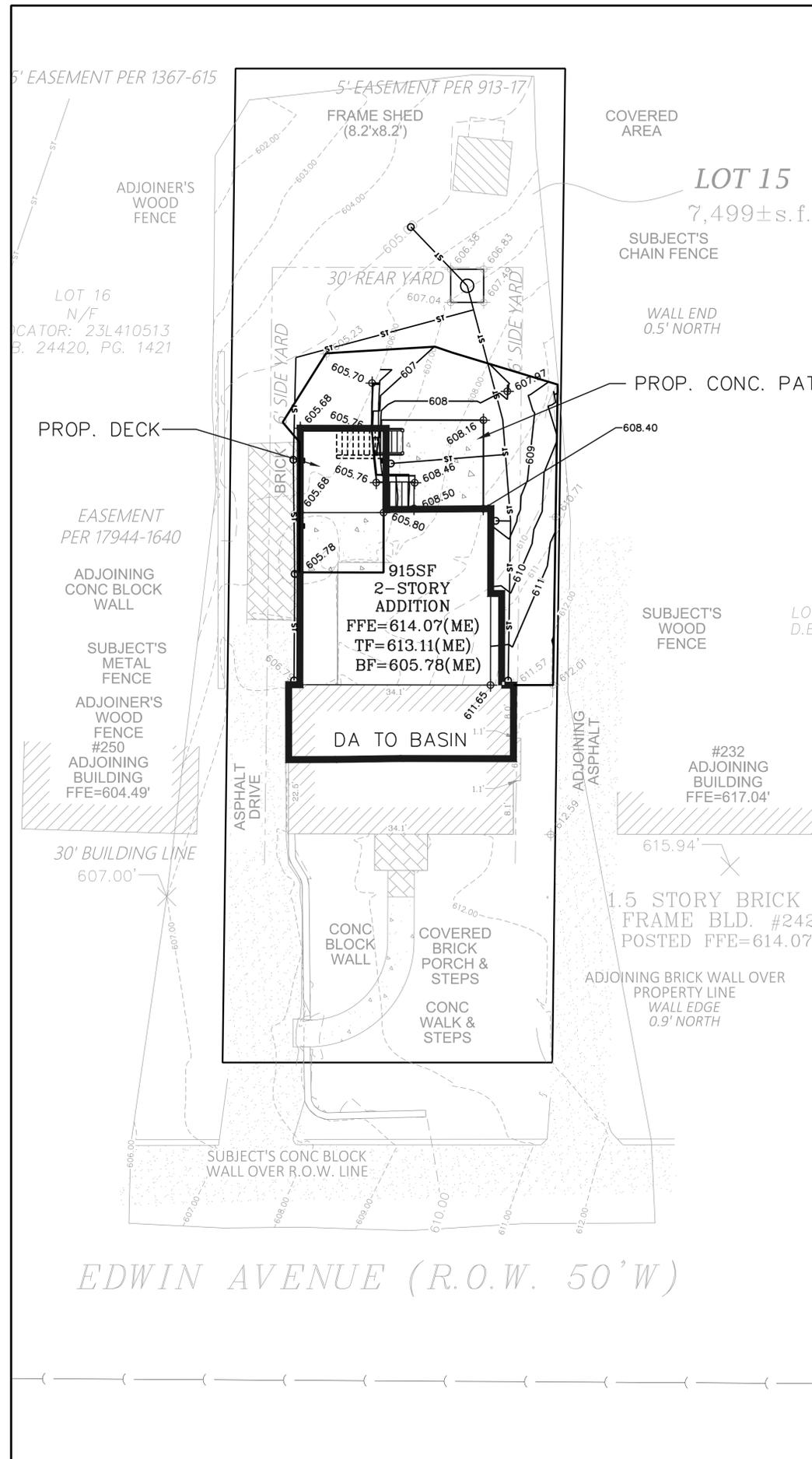
- NOTES:
- DO NOT INSTALL PERFORATED PIPE WITHIN 10' OF ANY BUILDING/FOUNDATION.

A POP-UP EMITTER
NOT TO SCALE



- NOTES:
- CAP EXISTING BELOW GRADE CONNECTION (IF EXISTING).
 - IF 90° ELBOW CONFLICTS WITH BUILDING FOOTING, CONSTRUCT ELBOW AT TOP OF FOOTING AND SLOPE AT MAXIMUM GRADE TO 18" BELOW GRADE.
 - REMOVE/REPLACE/ADD DOWNSPOUT STRAPS AS NECESSARY TO SECURE PIPING IN PLACE.
 - USE 18" COVER WHERE SITE CONDITIONS WILL ALLOW POSITIVE DRAINAGE.
 - OWNER'S REPRESENTATIVE TO SELECT COLOR, TYPE, AND STYLE OF DOWNSPOUT AND APPURTENANCES.

B PIPED DOWNSPOUT
NOT TO SCALE



DRY WELL/FLO-WELL SYSTEM WITH 1 UNIT
 GROUND ELEVATION = 606.38
 FLOWLINE OF 4" PVC INLET = 605.21
 A = 2'
 B = 1.5'

Flo-well System	
DIFFERENTIAL RUNOFF =	0.029 CFS
STORMWATER MITIGATION REQUIRED =	100% OF DIFFERENTIAL
VOLUME REQUIRED =	60 SEC/MIN x 20 MIN x 0.38 CFS = 34.62039 CF
# OF FLO-WELL UNITS =	1 = 6.28 x # OF UNITS = 6 CF
ROCK PIT DIMS =	4 FT DEEP 5 FT LONG 5 FT WIDE
ROCK PIT VOLUME =	100 CF - 6 = 94 CF
VOID STORAGE =	40%
TOTAL STORAGE =	43.49 CF



RYAN MEEKS
 CIVIL ENGINEER
 MO# PE-2011015775
 DATE: 09/28/2023
 CDI #: R6233
 DESIGNED BY: RDM
 DRAWN BY: RDM
 CHECKED BY: JEF

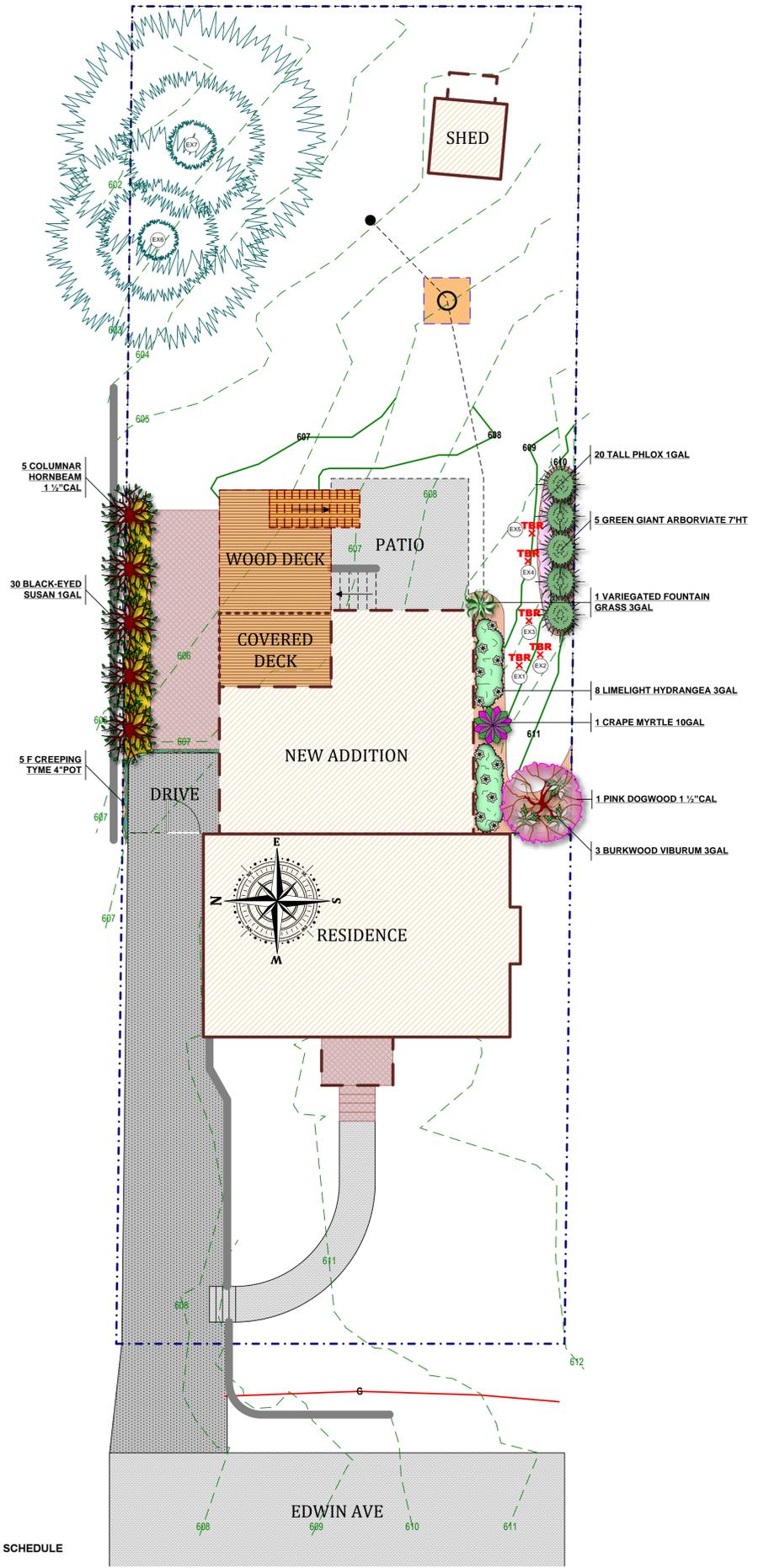
REV. NO.	DATE	REMARKS

CIVIL ENGINEER:
 5270 Oakland Avenue
 St. Louis, MO 63110
 314.683.5570
CDI
 CIVIL DESIGN, INC.
 WBE DBE
 Missouri State Certificate
 of Authority #202006804

NEW RESIDENCE AT
 242 EDWIN AVE
 242 EDWIN AVE.
 GLENDALE, MO 63122

SHEET TITLE
BMP PLAN

SHEET NO.
3.0



SCALE: 1/8" = 1' 0"



L1

LANDSCAPE DEVELOPMENT PLAN FOR
ANDREW & EMILY WENDELL
 242 Edwin Avenue
 Saint Louis, MO 63122
 andrewawendell@gmail.com emilymariewendell@gmail.com

THE PROFESSIONALS
 "Where Quality is Foremost"

BAXTER GARDENS
 Chesterfield

17259 Wildhorse Creek Road (636) 532-1033 FAX (636) 532-1258
 Chesterfield, MO 63005 www.baxtergardens.com

DESIGNED BY: **Bill Weishaar, Jr.**
 ORIGINAL DATE: AUGUST 11, 2023
 REVISION DATE:
 GRAPHIC ART: CST / WHW

SUBJECT PROPERTY
 242 Edwin
 Existing Photos



LEFT SIDE



FRONT



REAR



RIGHT SIDE

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT DESCRIPTION:
Wendell Residence
 242 Edwin Ave
 Glendale, MO 63122

COMPASS
 DESIGN | BUILD | L.L.C.
 636-728-9477 pete@compass-sll.com

DATE:
 9/1/2023

SCALE:

SHEET:



NORTH PROPERTY
FRONT / SIDE / REAR

ADJACENT PROPERTIES

Existing Photos



SOUTH PROPERTY
FRONT / SIDE / REAR



SUBJECT PROPERTY
REAR YARD
FACING EAST PROPERTY



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT DESCRIPTION:
Wendell Residence
242 Edwin Ave
Glendale, MO 63122

COMPASS
DESIGN | BUILD | L.L.C.
636-728-9477 pete@compass-sll.com

DATE:
9/1/2023

SCALE:

SHEET: